



19 Duncoole Park, Belfast, BT14 8JS

- Extended Semi Detached Home
- Lounge; Open Arch Into Dining Room
- Bathroom With Three Piece Suite
- Generous Private Driveway Area
- Fully Enclosed, Private Rear Garden
- Three Well Proportioned Bedrooms
- Modern Fitted Kitchen; Rear Sun Porch
- Oil Heating; PVC Double Glazing
- Large Detached Garage
- Convenient & Sought After Location

Offers Over £199,950

EPC Rating E





PROPERTY DESCRIPTION

ACCOMMODATION

ENTRANCE HALL

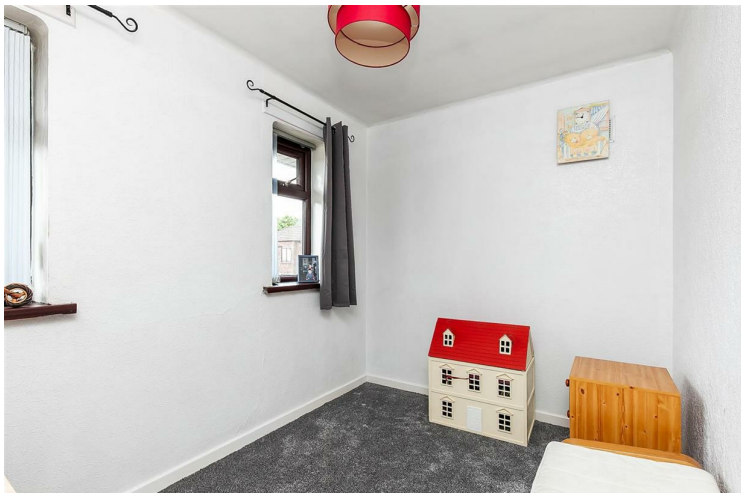
PVC double glazed front entrance door. Wood laminate floor covering. Access to under stairs store with light. Return stairwell leading to first floor.

LOUNGE 13'6" x 10'5"

Cast iron, multi fuel burning stove set on slate hearth with floating timber 'sleeper style' mantle over. Wood laminate floor covering. Picture window to front elevation. Open arch into:

DINING ROOM 16'11" x 9'3"

Wood laminate floor covering. Picture window to rear elevation.



KITCHEN 9'8" x 8'5"

Modern fitted kitchen with range of high and low level storage units and contrasting melamine work surface with matching upstands. Stainless steel 1.5 bowl sink unit with draining bay and mixer tap. Space for cooker with extractor canopy over. Plumbed for automatic washing machine. Plumbed and space for dishwasher. Splashback tiling to cooker recess. Tiled floor.

REAR SUN PORCH 7'11" x 6'11"

Wood laminate floor covering. Dual aspect PVC double glazed windows with matching PVC double glazed French patio door leading to rear garden.

FULLY TILED BATHROOM 6'9" x 5'4"

White, three piece suite comprising panelled bath, pedestal wash hand basin and WC. Mixer tap, thermostat controlled shower unit and glass panelled shower screen over bath. Chrome towel radiator. Tongue and groove timber panelling to ceiling.

FIRST FLOOR

LANDING

Access via slingsby style ladder to partially floored roof space with light.

BEDROOM 1 13'6" x 10'4" (into robes)

Dual aspect PVC double glazed windows. Twin, fitted wardrobes with panelled and mirrored sliding doors.

BEDROOM 2 9'8" x 8'6"

Picture window to rear elevation. Built in store (currently encompassing wash hand basin and WC, however no building consent has been obtained).

BEDROOM 3 9'7" x 6'11"

Twin windows to front elevation.

EXTERNAL

Generous sized private driveway area finished in tarmac.

Low maintenance front garden finished in paved patio and shrub beds.

Entrance canopy.

External lighting.

Fully enclosed rear garden finished in lawn, tarmac patio area and shrub beds.

PVC oil storage tank.

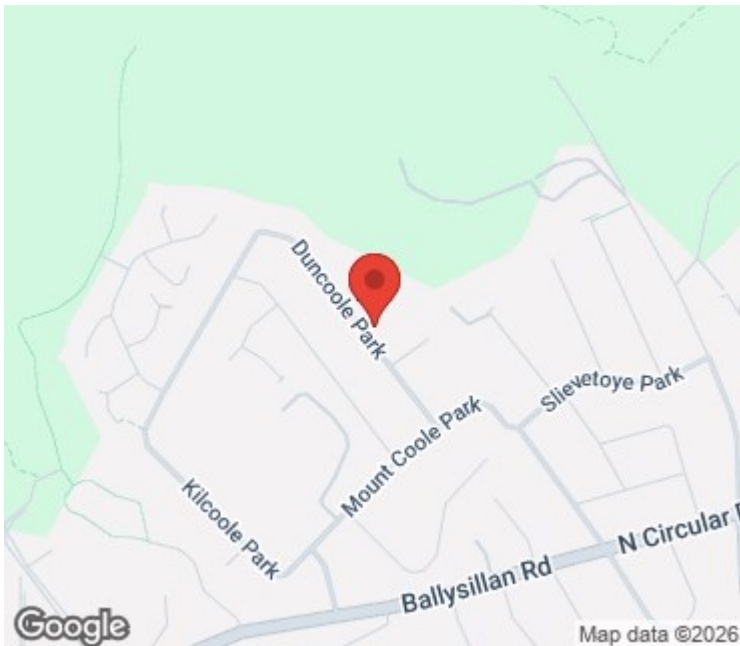
Oil fired central heating boiler (housed).

Outside tap.

DETACHED GARAGE 24'0" x 11'0"

Hinged swing door to front, separate pedestrian service door, light, power and window.

IMPORTANT NOTE TO ALL POTENTIAL PURCHASERS



Every care has been taken with the preparation of these particulars, but complete accuracy cannot be guaranteed. If there is any point, which is of particular importance to you, please obtain professional confirmation. Alternatively, we will be pleased to check the information for you. All measurements quoted are approximate. The Fixtures, Fittings & Appliances have not been tested and therefore no guarantee can be given that they are in working order. Photographs are reproduced for general information and it cannot be inferred that any item shown is included in the sale.

Immaculately presented, three bedroom, two reception, extended semi detached home with generous sized private driveway area, detached garage, and fully enclosed private rear garden, located within the popular and conveniently positioned Duncoole Park, situated off North Circular Road, North Belfast.

The property comprises entrance hall, lounge with cast iron multi fuel burning stove and open arch into dining room, modern fitted kitchen, sun porch, ground floor bathroom with three piece suite, and three well proportioned first floor bedrooms.

Externally, the property enjoys generous sized private driveway area finished in tarmac, detached garage, low maintenance front garden finished in paved patio and shrub beds, and fully enclosed rear garden finished in lawn, tarmac patio area and shrub beds.

Other attributes include oil fired central heating, PVC double glazing, and rural aspects to the rear.

Early viewing highly recommended to avoid disappointment.

Energy Efficiency Rating

	Current	Potential
Very energy efficient - lower running costs		
(92 plus) A		
(81-91) B		
(69-80) C		76
(55-68) D		
(39-54) E	54	
(21-38) F		
(1-20) G		
Not energy efficient - higher running costs		
Northern Ireland	EU Directive 2002/91/EC 	

Agents Note: Whilst every care has been taken to prepare these sales particulars, they are for guidance purposes only. All measurements are approximate are for general guidance purposes only and whilst every care has been taken to ensure their accuracy, they should not be relied upon and potential buyers are advised to recheck the measurements

INVESTORS IN PEOPLE
We invest in people Gold

PRS Property Redress Scheme

Proudly sponsoring

 **Northern Ireland Children's Hospice**

Awards

Telegraph
PROPERTY AWARDS 2018
in partnership with

Telegraph
PROPERTY AWARDS 2019
in partnership with

Shortlisted
TheNegotiator Awards 2018

Shortlisted
TheNegotiator Awards 2019

THE INVESTORS IN PEOPLE
AWARDS 2019
Finalist

TheNegotiator
Regional Agency of the Year Northern Ireland
GOLD

WE ARE MACMILLAN.
CANCER SUPPORT